

PRELIMINARY ANNEXATION, REZONING & SITE PLAN FOR
NEPALESE AMERICAN CULTURAL CENTER SUBDIVISION
1317 ROCK QUARRY ROAD, MEBANE NC 27302



INDEX OF DRAWINGS:

C1.0	COVER SHEET
C1.1	PROJECT NOTES
C2.0	EXISTING CONDITIONS & DEMOLITION PLAN
C3.0	SITE PLAN
C5.0	GRADING & STORM DRAINAGE PLAN
C6.0	UTILITY PLAN
C7.0	LANDSCAPE & AMENITY PLAN
C7.1	LANDSCAPE PLAN
D5.0	SITE & PAVING DETAILS

PLANNING & ZONING FEES					
REZONING APPLICATION (PER ORIGINAL LOT)	X 7	\$300 / EA	\$2,100	PAID	
TECHNICAL REVIEW COMMITTEE (SITE PLAN REVIEW)	-	\$300	\$300	PAID	
SITE PLAN DWELLING UNIT FEE (SITES > 10 ACRES)	X 106	\$50 / UNIT	\$5,300	PAID	
ENGINEERING SUBDIVISION PLAN REVIEW FEE (RESIDENTIAL)	X 106	\$25 / UNIT	\$2,650		
TOTAL			\$10,350		

APPROVAL STAMP

EarthCentric Engineering, Inc.

License # C-2638

204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-3234
E-Mail: Phil.Koch@EarthCentric.com

PRELIMINARY
NOT FOR
CONSTRUCTION

PRINCIPAL ENGINEER
PHIL KOCH - NCPE #2634

NEPALESE AMERICAN CULTURAL
CENTER SUBDIVISION
1317 ROCK QUARRY RD, MEBANE NC 27302

COVER SHEET

REV	DATE	DESCRIPTION	BY
1	02/25/2023	PER COMMENTS / ADD. PROP. CPK	CPK
2	04/25/2024	PER COMMENTS TMM	TMM
3	07/10/2024	PER COMMENTS SCS	SCS
4	07/23/2024	PER COMMENTS TMM	TMM

DATE: JANUARY 17, 2023
HORIZONTAL SCALE: 1" = 200'
VERTICAL SCALE: N/A
PROJECT MANAGER: CPK
DRAWN BY: CPK
PROJECT NO: 22-69
DRAWING NAME: 22-69 WORKING

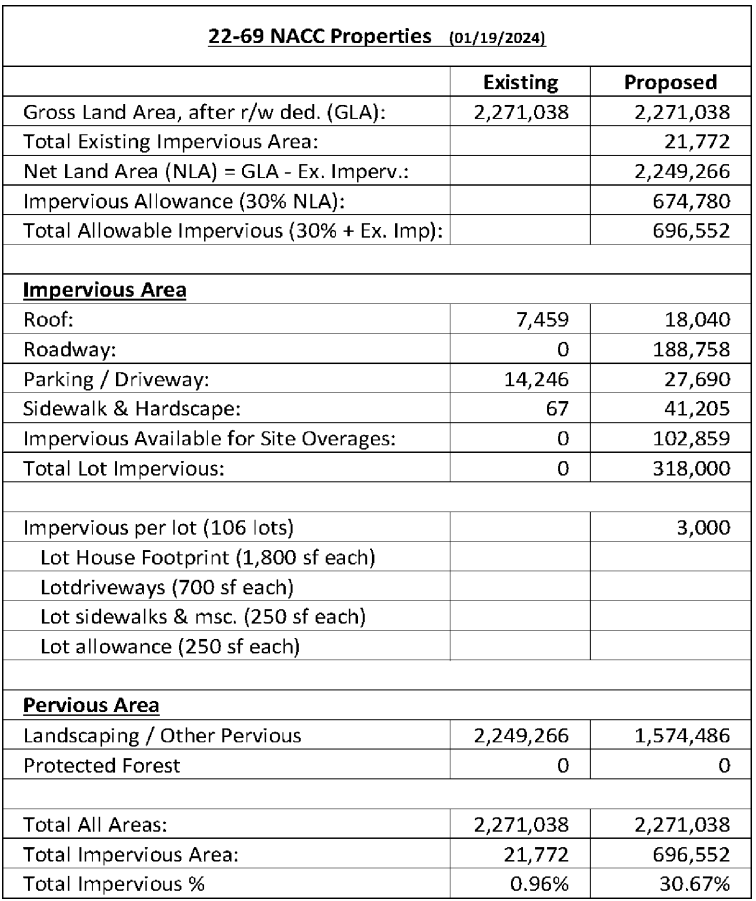
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF EarthCentric Engineering, Inc. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF EarthCentric Engineering, Inc. IS PROHIBITED.

COPYRIGHT 2024 EarthCentric Engineering, Inc.

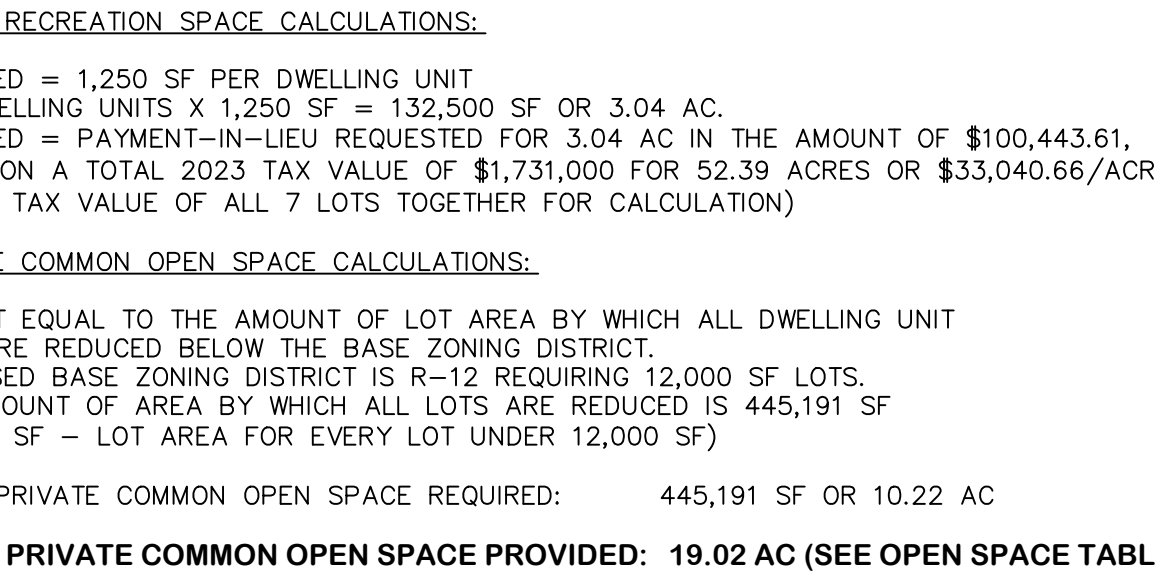
SHEET NO.

C1.0

SITE PLAN



22-69 NACC Properties 01/15/2024M		
	Existing	Proposed
Gross Land Area, after r/w ded. (GIA):	2,271,038	2,271,038
Total Existing Impervious Area:		21,772
Net Land Area (NLA) = GIA - Ex. Imperv.:		2,249,266
Impervious Allowance (30% NLA):		674,780
Total Allowable Impervious (30% + Ex. Imp):		696,552
Impervious Area		
Roof:	7,459	18,040
Roadway:		188,758
Parking / Driveway:	14,246	27,690
Sidewalk & Hardscape:	67	41,205
Impervious Available for Site Overages:		102,859
Total Lot Impervious:		318,000
Impervious per lot (106 lots)		3,000
Lot House Footprint (1,800 sf each)		
Lot Driveways (700 sf each)		
Lot sidewalks & msc. (250 sf each)		
Lot allowance (250 sf each)		
Pervious Area		
Landscaping / Other Pervious	2,249,766	1,574,486
Protected Forest		0
Total All Areas:	2,271,038	2,271,038
Total Impervious Area:	21,772	696,552
Total Pervious %:	0.96%	30.67%



1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, CITY OF MEABANE STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, OSHA REGULATIONS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
2. A COPY OF THE CONSTRUCTION DRAWINGS BEARING THE APPROVAL STAMP FROM THE CITY OF MEABANE SHALL ALWAYS BE ON SITE AND AVAILABLE.
3. MATERIAL SUBMITTALS TO BE APPROVED BY THE CITY OF MEABANE PRIOR TO ORDERING MATERIAL.
4. MODIFICATION TO THE APPROVED DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AND THE CITY OF MEABANE.
5. PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS TO COMPLETE THE CONSTRUCTION SHOULD BE ACQUIRED AND FOLLOWED.
6. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MEABANE, OWNER/REP, PLANNING, EROSION CONTROL, GEOTECHNICAL ENGINEER, ALL SUB-CONTRACTORS, AND ENGINEER/REP.
7. GEOTECHNICAL SPREADSHEET TO BE PROVIDED TO THE CITY PRIOR TO PRE-CONSTRUCTION MEETING FOR REVIEW. SPREADSHEET TO ACCOMPANY GEOTECHNICAL REPORTS.
8. ALL SOIL WITHIN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE COMPACTED TO CITY OF MEABANE SPECIFICATIONS. CITY REPRESENTATIVE TO BE NOTIFIED 24 HOURS IN ADVANCE AND GIVEN THE OPPORTUNITY TO BE PRESENT DURING GEOTECH TESTING.
9. ALL UTILITY SEPARATIONS SHALL MEET THE REQUIREMENTS AS STATED IN THE CITY OF MEABANE CONSTRUCTION DOCUMENTS CHECKLIST. ALL UTILITY SEPARATIONS TO BE FIELD VERIFIED DURING INSTALLATION AND AS-INSTALLED SEPARATION LABELED ON AS-BUILT DRAWINGS. CONTRACTOR SHALL PROVIDE DESIGN ENGINEER VERIFICATION OF AS-INSTALLED SEPARATIONS TO BE INCLUDED ON AS-BUILT DRAWINGS SUBMITTED TO STATE.
10. ALL WATER MAIN TO INCLUDE TWO FORMS OF RESTRAINT (MEGA-LUGS AND BLOCKING) AND CONFORM TO THE DISTANCES STATED IN DETAIL W-26.
11. TESTING PROCEDURES PER CITY OF MEABANE STANDARDS AS FOLLOWS: WATER LINE – PRESSURE TEST, CHLORINATE BAG – SANITARY SEWER – PRESSURE TEST; VACUUM TEST MANHOLES, MANDREL VIDEO, STORM SEWER – VIDEO, CONCRETE – CYLINDERS EVERY 30 YARDS, ROADWAY – DENSITY AND PROOF ROLL. ASPHALT – CORES FOR BINDER, NUCLEAR DENSITY GAUGE TESTS ON FINAL LIFT.
12. FOR ALL PROJECTS WHERE THE FINAL LIFT OF ASPHALT IS NOT ANTICIPATED PRIOR TO THE ONSET OF WINTER, ALL MANHOLES AND VALVE BOXES ARE TO BE ADJUSTED FLUSH WITH THE BINDER COURSE. THE FINAL ADJUSTMENT TO FINISH GRADE WILL NOT BE DONE UNTIL IMMEDIATELY PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF SURFACE COURSE.
13. CLASS III RCP SHALL HAVE A MINIMUM OF 3' OF COVER WITHIN THE ROW PER NCDOT REQUIREMENTS, WHERE 3' OF COVER IS NOT PROVIDED, CLASS IV RCP.
14. ALL DRAINAGE SWALES SHALL HAVE A MINIMUM OF 1% SLOPE.
15. ALL THIRD-PARTY UTILITIES TO ACQUIRE AN ENCROACHMENT AGREEMENT WITH THE CITY OF MEABANE PRIOR TO STARTING INSTALLATION.
16. BORROW PIT LOCATIONS TO BE SURVEYED FOR IN FIELD VERIFICATION AND BE IDENTIFIED ON THE PLAT.
17. UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
18. WHEN STAKING WATER LINE, CURB RADIUS POINTS SHOULD ALSO BE STAKED TO ENSURE VALVES ARE PLACED OUTSIDE OF CURB LINE AND HANDICAP RAMP TRUNCATED DOMES.
19. CONTRACTOR RESPONSIBLE FOR NOTIFYING THE CITY OF MEABANE AND THE DESIGN ENGINEER PRIOR TO TESTING WATER AND SEWER LINES TO COORDINATE SCHEDULING SINCE DESIGN ENGINEER WILL BE CERTIFYING AND MAY WANT TO WITNESS TESTING.
20. CONTRACTOR TO SCHEDULE PUNCH LIST WALK THROUGH AFTER BINDER LIFT OF ASPHALT HAS BEEN INSTALLED.

1. EXISTING BOUNDARY SURVEY PROVIDED BY R.S. JONES AND ASSOCIATES, INC. AND SUPPLEMENTED WITH ADDITIONAL DOWNLOADED GIS INFORMATION.
2. WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES FOR ALL WORK W/IN PUBLIC R/W PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND THE N.C. SUPPLEMENT TO THE MUTCD, AND LOCAL INSPECTORS DIRECTION.
4. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, LOCAL STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, AND OTHER APPLICABLE CONTRACT DOCUMENTS.
5. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NC 811 (PREVIOUSLY ULOCO, NC ONE CALL) FOR UTILITY LOCATING SERVICES 3 FULL BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
6. UNDERGROUND UTILITIES SHOWN USING BEST AVAILABLE INFORMATION. ALL LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE MORE UNDERGROUND UTILITIES THAN ARE SHOWN HEREON. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES.
8. ALL CLEARING, GRUBBING AND UNSUITABLE FILL MATERIAL SHALL BE DISPOSED OF LEGALLY.
9. ALL PAVEMENT, CURB, STORM DRAINAGE PIPE, AND STRUCTURES TO BE REMOVED SHALL BE HAULED OFFSITE AND DISPOSED OF LEGALLY.
10. SIGNAGE SHALL BE LOCATED AS SHOWN. SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL STANDARDS.
11. LANDSCAPING SHALL BE INSTALLED IN THE PROVIDED YARDS, IN ACCORDANCE WITH LOCAL STANDARDS.
12. NO SIGN OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGNS BETWEEN THE HEIGHT OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGN TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED ON THE PROPERTY OR ON ADJOINING PROPERTY.

13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL CONSTRUCTION STANDARDS, SPECIFICATIONS, AND PROCEDURES AND THE NCDENR'S SEDIMENTATION AND EROSION CONTROL STANDARDS, SPECS., AND PROCEDURES.
14. CONTRACTOR SHALL VERIFY ALL APPLICABLE STATE AND LOCAL PERMITS REQUIRED FOR THE COMMENCEMENT OF GRADING OPERATIONS HAVE BEEN OBTAINED PRIOR TO START OF GRADING.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES.
17. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO MEET ALL STATE AND LOCAL REQUIREMENTS, INCLUDING THE STATE STANDARDS FOR WATER QUALITY AND DETENTION FACILITIES (CURRENT EDITION).
18. EROSION CONTROL MEASURES ARE PERFORMANCE BASED AND SHALL BE PROVIDED PER THE EROSION CONTROL PLANS AND AS NEEDED TO PROTECT ADJACENT PROPERTIES.
19. CONTRACTOR SHALL PROVIDE ALL STAKING, FLAGGING AND/OR FENCING NECESSARY TO PROVIDE PROPER PROTECTION OF ANY STREAM BUFFERS.



SITE ADDRESS	1317 ROCK QUARRY ROAD (AND OTHERS) MEBANE, NC 27302
OWNER & DEVELOPER	NACC INVESTMENT GROUP, LLC (ALL TOLLS) 717 FLIP TRAIL CARY, NC 27513
CIVIL ENGINEER	BAL KRISHNA SHARMA (984-302-4256) BAL_KRISHNA_SHARMA@HOTMAIL.COM EARTHENTRICK ENGINEERING INC. (C-2638) CHARLES P. KOCH (NOE) (#22634) 204 WEST GLAY STREET, SUITE 1C CHARLES P. KOCH FAX: 919-563-3234 PHIL.KOCH@EARTHENTRICK.COM
SURVEYOR	R.S. JONES & ASSOCIATES, INC. (C-2565) ROBERT S. JONES (L-3939) P.O. BOX 1700, MEBANE NC 27302 204 N. FIFTH ST., SUITE 1C, MEBANE NC 27302 CHARLES P. KOCH FAX: 919-563-3234 PHIL.KOCH@EARTHENTRICK.COM

SITE INFORMATION & NOTES:

PIN#	9824-74-3930, 9824-85-2205, 9824-75-9260, 9824-75-7271, 9824-75-4188, 9824-65-9177, 9824-65-9813
DEED REF	BK.6793 PG.478, BK.6782 PG.55, BK.6815 PG.324
PLAT REF	PB 48 PG 173, PB 76 PG 164, PB 125 PG 82, & PB 42 PG 17

EXISTING JURISDICTION	ORANGE COUNTY, CHEEKS TOWNSHIP
PROPOSED JURISDICTION	CITY OF MEBANE ANNEXATION
ZONING CODE	O/RM & AR ORANGE COUNTY
ADJACENT ZONES	R-12 (CD) CITY OF MEBANE TO THE SOUTH AR ORANGE COUNTY ALL OTHER SIDES
PROPOSED ZONE	R-12 (CD) CITY OF MEBANE

SIZE 52.32 ACRES (2,279,060 SF) BY SURVEY
(TOTAL ALL LOTS)
8,022 SF IN R/W TO BE DEDICATED TO NCDOT
52.14 ACRES (2,271,038 SF) AFTER R/D DED.

RIVER BASIN	CAPE FEAR RIVER BASIN
RECEIVING WATER COURSE	HAW CREEK (WS-V; NSW)
WATERSHED	HAW CREEK UNPROTECTED WATERSHED
SOILS (2017)	CH - CHEWACLA, GROUP B/D

FEMA GEC - GEORGEVILLE, GROUP B
 HRB - HERNDON, GROUP B
 HWB & HWC - LLOYD, GROUP B
 MAP PANEL #3710982400L EFFECTIVE 11/17/2017
 ZONE X MINIMAL FLOOD RISK

CURRENT USE	SINGLE-FAMILY HOMES & TRAILERS
PROPOSED USE	CLUSTER SUBDIVISION, WORKFORCE HOUSING

R-12 DENSITY MAX.	3.63 UNITS/ACRE 189 UNITS MAX.)
R-12 DENSITY PROPOSED	106 UNITS OR 2.03 UNITS/ACRE
R-12 LOT SIZE MIN.	12,000 SF MIN (7,200 SF AS CLUSTER)
LOT WIDTH	65' MIN.
FRONT YARD SETBACK	25' MINIMUM
SIDE YARD SETBACK	7.5' PROPOSED (UDO STD. =10')
REAR CORNER SETBACK	15' PROPOSED (UDO STD. =18')
REAR YARD SETBACK	25' MINIMUM
OPEN SPACE 6 (WORSHIP CENTER)	50' SETBACK ALL SIDES
TOTAL LINEAR FEET OF NEW ROADS	5,994

TRIP GENERATION ESTIMATE: 106 SFH UNITS = ~1,131 NEW DAILY TRIPS

PARKING REQUIREMENTS, RESIDENTIAL: (ASSUMES 4 BEDROOMS)
106 EACH 3-4 BEDROOM HOMES @ 3 SPACES PER HOME
TOTAL REQUIRED SPACES = 265 SPACES
EACH LOT WILL HAVE 3 PARKING SPACES MIN. IN DRIVEWAY &/OR GARAGE

PARKING REQUIREMENTS, AMENITIES:
 WORSHIP CENTER: ESTIMATED 200 SEATS @ 1 SPACE PER 4 SEATS
 TOTAL REQUIRED SPACES = 50 SPACES
 POOL AREA: 5400 FT² POOL & DECK AREA @ 1 SPACE PER 100 FT²
 TOTAL REQUIRED PARKING = 54 SPACES
 COMMUNITY CENTER: 6000 FT² @ 1 PER 500 FT² PLUS WORSHIP CENTER
 TOTAL REQUIRED SPACES = 62 SPACES
 10 KIOSK SPACES PLUS 1 PER 20 DWELLINGS MORE THAN 0.5 MI AWAY
 TOTAL REQUIRED PARKING = 10 SPACES

SPACES PROVIDED = 71 SPACES (ASSUMES WALKING COMMUNITY & LARGELY NON-SIMULTANEOUS USE OF FACILITIES)

LANDSCAPE & BUFFERING:
PERIMETER BUFFERS - NOT REQUIRED FOR PROPOSED USE CLASS 3
STREETFRONTAGE - 20' STREETFRONTAGE (PROPOSED 3' 4" PLANTER)

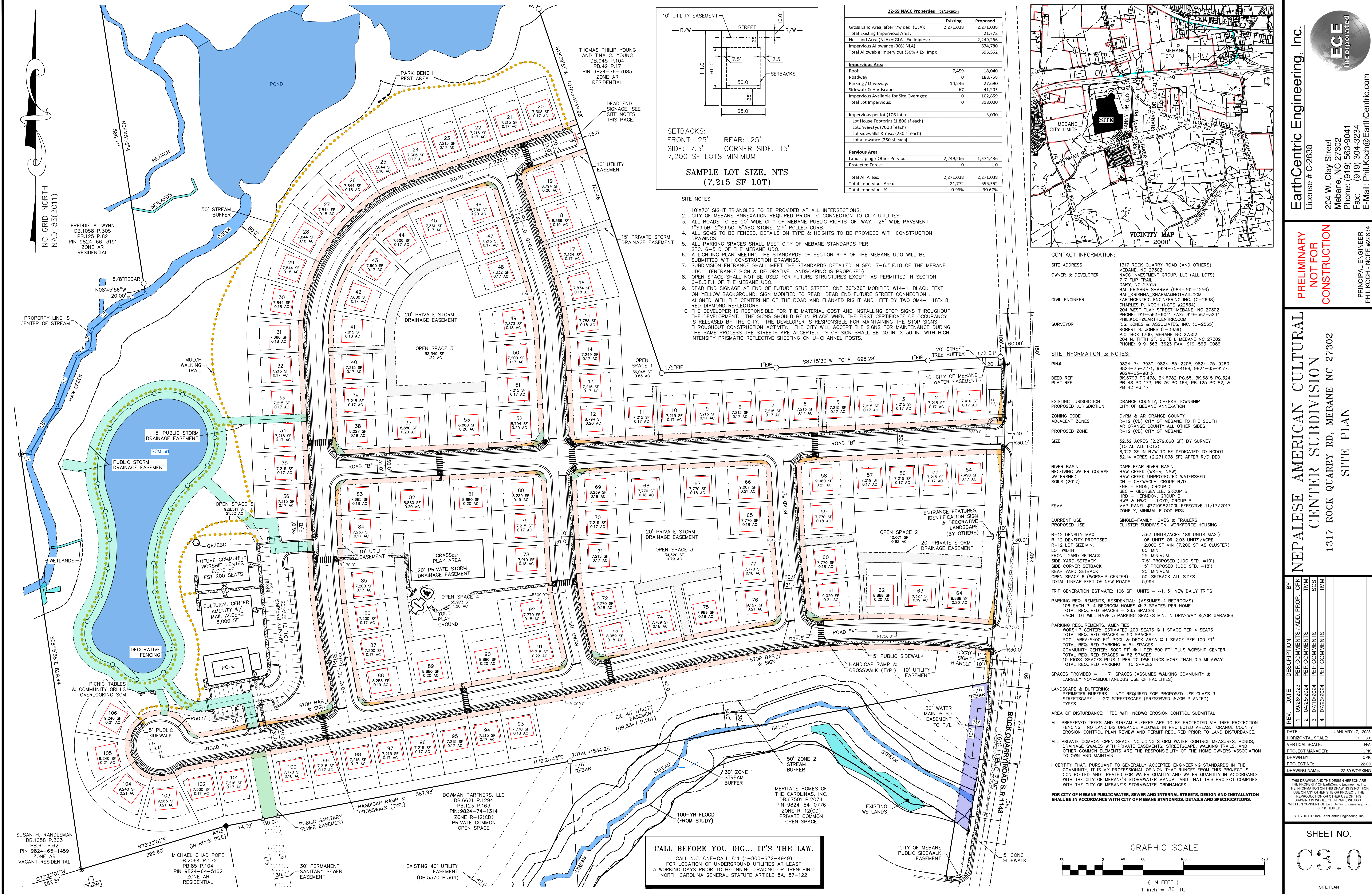
AREA OF DISTURBANCE: TBD WITH NCDWG EROSION CONTROL SUBMITTAL

ALL PRESERVED TREES AND STREAM BUFFERS ARE TO BE PROTECTED VIA TREE FENCING. NO LAND DISTURBANCE ALLOWED IN PROTECTED AREAS. ORANGE EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

ALL PRIVATE COMMON OPEN SPACE INCLUDING STORM WATER CONTROL MEASURES, DRAINAGE SWALES WITH PRIVATE EASEMENTS, STREETScape, WALKING TRAILS AND OTHER COMMON ELEMENTS ARE THE RESPONSIBILITY OF THE HOME OWNERS TO OWN AND MAINTAIN.

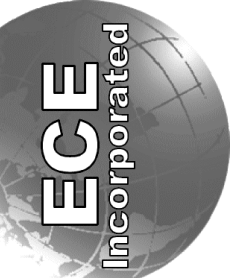
I CERTIFY THAT, PURSUANT TO GENERALLY ACCEPTED ENGINEERING STANDARDS COMMUNITY, IT IS MY PROFESSIONAL OPINION THAT RUNOFF FROM THIS PROJECT IS CONTROLLED AND TREATED FOR WATER QUALITY AND WATER QUANTITY IN ACCORDANCE WITH THE CITY OF MEBANE'S STORMWATER MANUAL AND THAT THIS PROJECT IS IN COMPLIANCE WITH THE CITY OF MEBANE'S STORMWATER ORDINANCES.

FOR CITY OF MEBANE PUBLIC WATER, SEWER AND INTERNAL STREETS, DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS, DETAILS AND SPECIFICATIONS.



EarthCentric Engineering, Inc.

License # C-2638



204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-3234
E-Mail: Phil.Koch@EarthCentric.com

PRELIMINARY
NOT FOR
CONSTRUCTION

NEPALESE AMERICAN CULTURAL
CENTER SUBDIVISION
1317 ROCK QUARRY RD, MEBANE NC 27302
SITE PLAN

REV.	DATE	DESCRIPTION	BY
1	02/25/2024	PER COMMENTS / ADD. PROP. CHG.	CPK
2	04/25/2024	PER COMMENTS	TMM
3	07/10/2024	PER COMMENTS	SCS
4	07/23/2024	PER COMMENTS	TMM

DATE: JANUARY 17, 2023
HORIZONTAL SCALE: 1" = 80'
VERTICAL SCALE: N/A
PROJECT MANAGER: CPK
DRAWN BY: CPK
PROJECT NO.: 22-69
DRAWING NAME: 22-69 Working

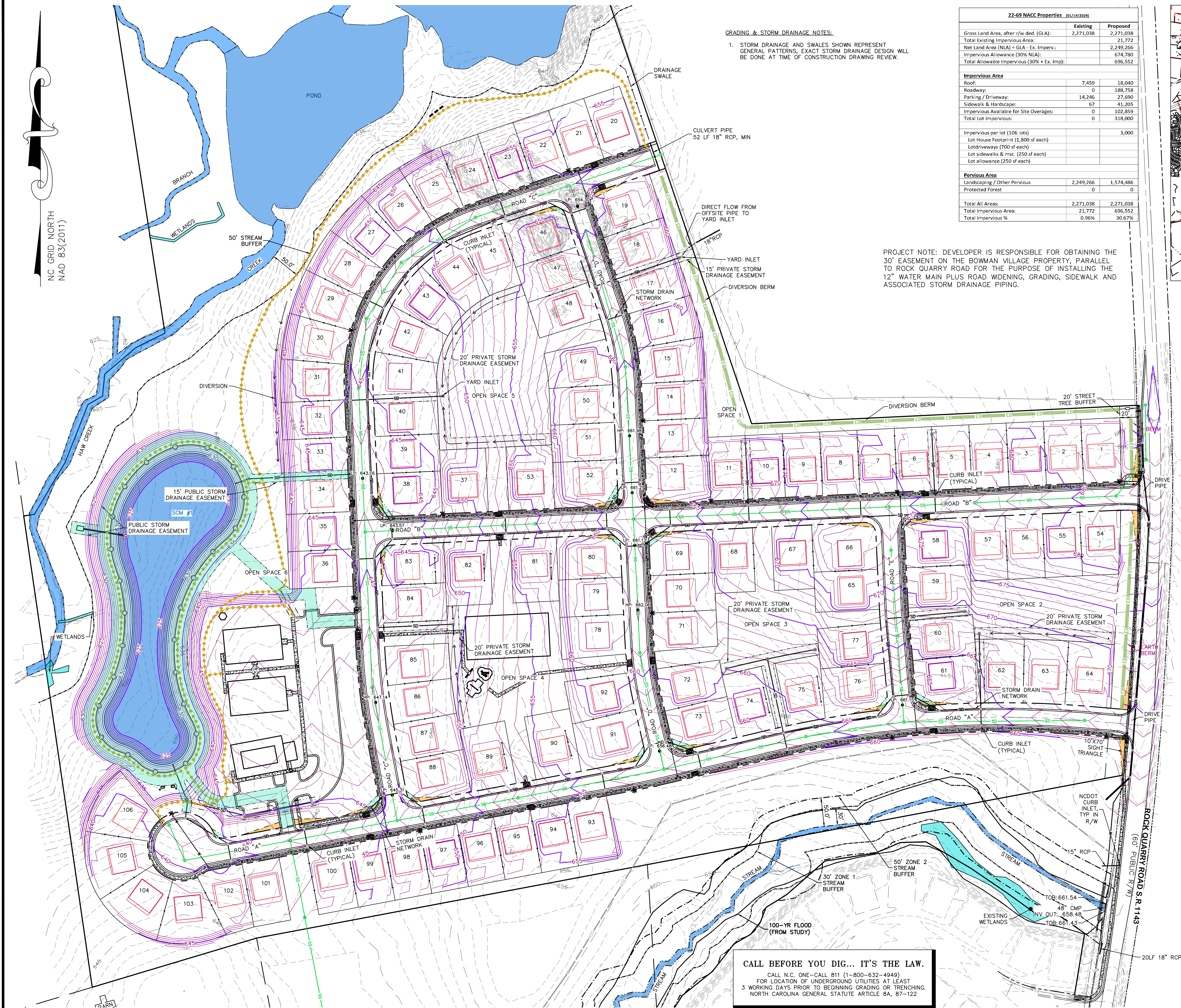
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF EarthCentric Engineering, Inc. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF EarthCentric Engineering, Inc. IS PROHIBITED.

COPYRIGHT 2024 EarthCentric Engineering, Inc.

SHEET NO.

C3.0

SITE PLAN



CONTACT INFORMATION:

SITE ADDRESS: 1317 ROCK QUARRY ROAD (AND OTHERS)
MEBANE, NC 27302
OWNER & DEVELOPER: NACC INVESTMENT GROUP, LLC (ALL LOTS)
717 FLIP TRAIL
CARY, NC 27513
BAL KRISHNA SHARMA (984-302-4256)
BAL KRISHNA SHARMA@HOTMAIL.COM
CIVIL ENGINEER: EARTHCENTRIC ENGINEERING, INC. (C-2638)
CHARLES P. KOCH (NCEP #22634)
204 WEST CLAY STREET, MEBANE, NC 27302
PHONE: 919-563-9041 FAX: 919-563-3234
PHIL.KOCH@EARTHCENTRIC.COM
SURVEYOR: R.S. JONES & ASSOCIATES, INC. (C-2565)
ROBERT S. JONES (L-3939)
P.O. BOX 1700, MEBANE NC 27302
204 N. FIFTH ST. SUITE 1, MEBANE NC 27302
PHONE: 919-563-3623 FAX: 919-563-0086

SITE INFORMATION & NOTES:

PIN# 9824-74-3930, 9824-85-2205, 9824-75-9260, 9824-75-7271, 9824-75-4188, 9824-65-9177, 9824-65-9813
DEED REF BK 6793 PG 478, BK 6782 PG 55, BK 6815 PG 324
PLAT REF PB 48 PG 173, PB 76 PG 164, PB 125 PG 62, & PB 42 PG 17

EXISTING JURISDICTION: ORANGE COUNTY, CHEEKS TOWNSHIP
PROPOSED JURISDICTION: CITY OF MEBANE ANNEXATION

ZONING CODE: O/RM & AR ORANGE COUNTY
ADJACENT ZONES: R-12 (CD) CITY OF MEBANE TO THE SOUTH
AR ORANGE COUNTY ALL OTHER SIDES
PROPOSED ZONE: R-12 (CD) CITY OF MEBANE

SIZE: 52.32 ACRES (2,279,060 SF) BY SURVEY
(TOTAL ALL LOTS)
8,022 SF IN R/W TO BE DEDICATED TO NCDOT
5214 ACRES (2,271,038 SF) AFTER R/D DED.

RIVER BASIN: CAPE FEAR RIVER BASIN
RECEIVING WATER COURSE: HAW CREEK (WS-V; NSW)
WATERSHED: HAW CREEK UNPROTECTED WATERSHED
SOILS (2017): EN - CHEMICAL, GROUP B/D
ENB - ENON, GROUP C
GEC - GEORGETOWN, GROUP B
HRB - HERNDON, GROUP B
HWB & HWC - LLOYD, GROUP B
FEMA: MAP PANEL #3710982400, EFFECTIVE 11/17/2017
ZONE: MINIMAL FLOOD RISK

CURRENT USE: SINGLE-FAMILY HOMES & TRAILERS
PROPOSED USE: CLUSTER SUBDIVISION, WORKFORCE HOUSING

R-12 DENSITY MAX. 3.63 UNITS/ACRE 189 UNITS MAX.)
R-12 DENSITY PROPOSED 106 UNITS OR 2.03 UNITS/ACRE
R-12 LOT SIZE MIN. 12,000 SF MIN (7,200 SF AS CLUSTER)
LOT WIDTH 65' MIN
FRONT YARD SETBACK 25' MINIMUM
SIDE YARD SETBACK 7.5' PROPOSED (UDO STD. = 10')
SIDE CORNER SETBACK 15' PROPOSED (UDO STD. = 18')
REAR YARD SETBACK 25' MINIMUM
OPEN SPACE 6 (WORSHIP CENTER) 50' SETBACK ALL SIDES
TOTAL LINEAR FEET OF NEW ROADS 5,994

TRIP GENERATION ESTIMATE: 106 SFH UNITS = ~1,131 NEW DAILY TRIPS

PARKING REQUIREMENTS, RESIDENTIAL: (ASSUMES 4 BEDROOMS)
106 EACH 3-4 BEDROOM HOMES @ 3 SPACES PER HOME
TOTAL REQUIRED SPACES = 265 SPACES
EACH LOT WILL HAVE 3 PARKING SPACES MIN. IN DRIVEWAY &/OR GARAGES

PARKING REQUIREMENTS, AMENITIES:
WORSHIP CENTER: ESTIMATED 200 SEATS @ 1 SPACE PER 4 SEATS
TOTAL REQUIRED SPACES = 50 SPACES
POOL AREA: 5400 FT² POOL & DECK AREA @ 1 SPACE PER 100 FT²
TOTAL REQUIRED PARKING = 54 SPACES
COMMUNITY CENTER: 6000 FT² @ 1 PER 500 FT² PLUS WORSHIP CENTER
TOTAL REQUIRED SPACES = 62 SPACES
10 KIOSK SPACES PLUS 1 PER 20 DWELLINGS MORE THAN 0.5 MI AWAY
TOTAL REQUIRED PARKING = 10 SPACES

SPACES PROVIDED = 71 SPACES (ASSUMES WALKING COMMUNITY & LARGELY NON-SIMULTANEOUS USE OF FACILITIES)

LANDSCAPE & BUFFERING:
PERIMETER BUFFERS - NOT REQUIRED FOR PROPOSED USE CLASS 3
STREETSCAPE - 20' STREETSCAPE (PRESERVED &/OR PLANTED)
TYPES

AREA OF DISTURBANCE: TBD WITH NCDWQ EROSION CONTROL SUBMITTAL

ALL PRESERVED TREES AND STREAM BUFFERS ARE TO BE PROTECTED VIA TREE PROTECTION FENCING. NO LAND DISTURBANCE ALLOWED IN PROTECTED AREAS. ORANGE COUNTY EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

ALL PRIVATE COMMON OPEN SPACE INCLUDING STORM WATER CONTROL MEASURES, PONDS, DRAINAGE SWALES WITH PRIVATE EASEMENTS, STREETSCAPE, WALKING TRAILS, AND OTHER COMMON ELEMENTS ARE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION TO OWN AND MAINTAIN.

I CERTIFY THAT, PURSUANT TO GENERALLY ACCEPTED ENGINEERING STANDARDS IN THE COMMUNITY, IT IS MY PROFESSIONAL OPINION THAT RUNOFF FROM THIS PROJECT IS CONTROLLED AND TREATED FOR WATER QUALITY AND WATER QUANTITY IN ACCORDANCE WITH THE CITY OF MEBANE'S STORMWATER MANUAL, AND THAT THIS PROJECT COMPLIES WITH THE CITY OF MEBANE'S STORMWATER ORDINANCES.

FOR CITY OF MEBANE PUBLIC WATER, SEWER AND INTERNAL STREETS, DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS, DETAILS AND SPECIFICATIONS.

EarthCentric Engineering, Inc.

License # C-2638



204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-3234
E-Mail: Phil.Koch@EarthCentric.com

PRELIMINARY
NOT FOR
CONSTRUCTION

PRINCIPAL ENGINEER
PHIL KOCH - NCEP #22634

NEPALESE AMERICAN CULTURAL
CENTER SUBDIVISION
1317 ROCK QUARRY RD, MEBANE NC 27302
GRADING & STORM
DRAINAGE PLAN

REV.	DATE	DESCRIPTION	BY
1	02/25/2024	PER COMMENTS / ADD. PROP. C/PK	TKM
2	04/25/2024	PER COMMENTS	TKM
3	07/10/2024	PER COMMENTS	SCS
4	07/23/2024	PER COMMENTS	TKM

DATE: JANUARY 17, 2023
HORIZONTAL SCALE: 1" = 80'
VERTICAL SCALE: N/A
PROJECT MANAGER: C/PK
DRAWN BY: C/PK
PROJECT NO.: 22-69
DRAWING NAME: 22-69 WORKING

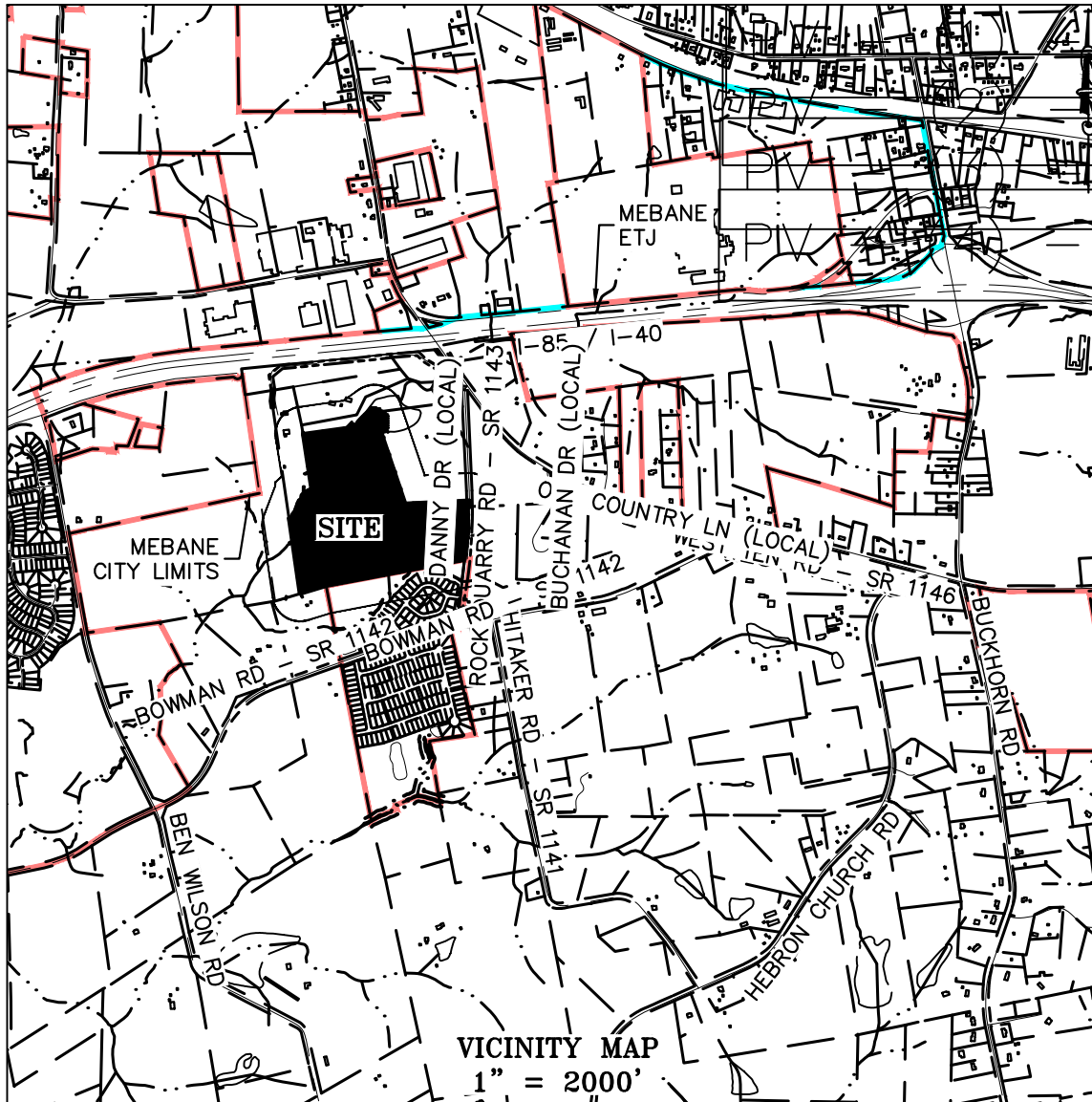
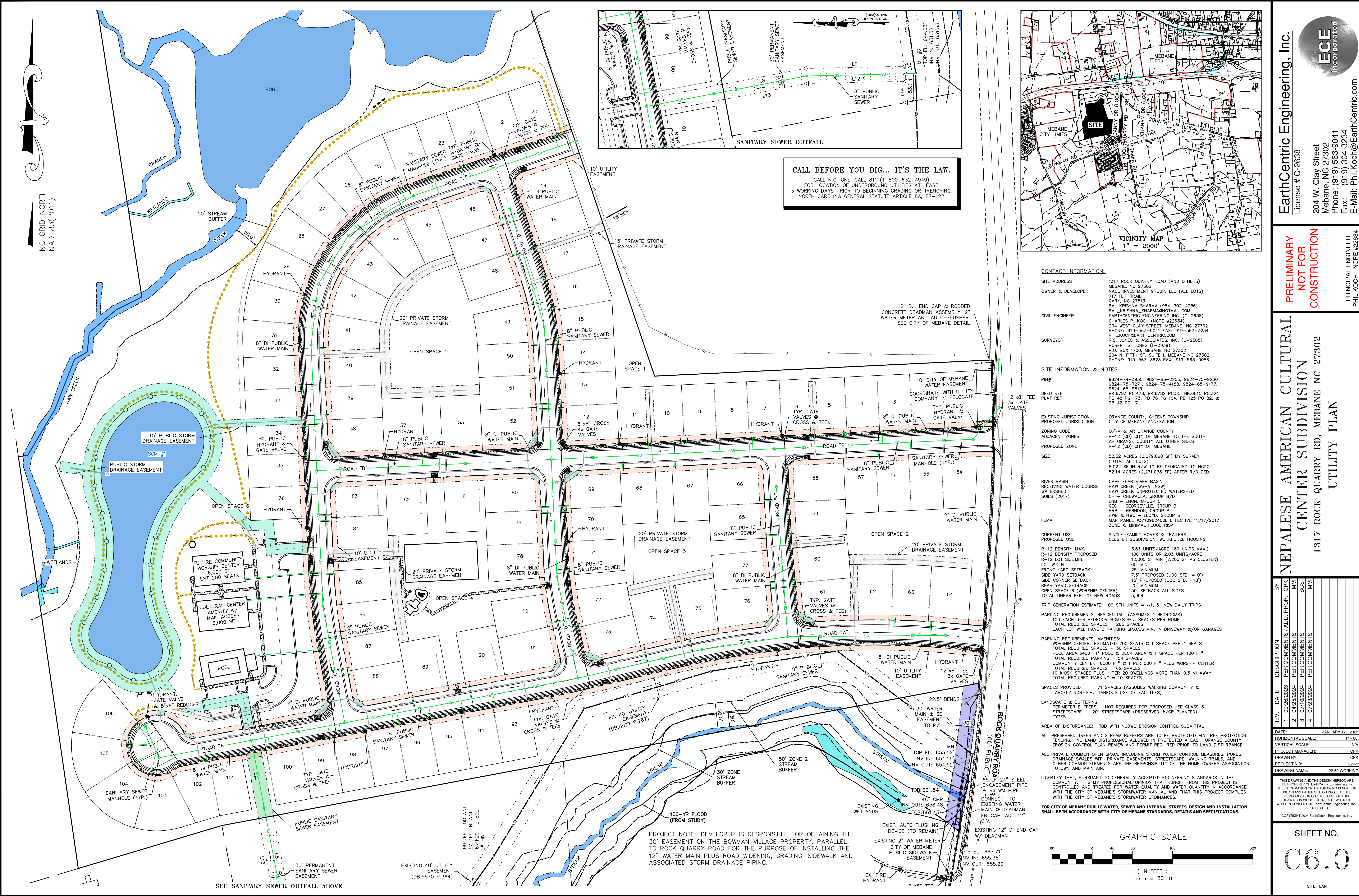
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF EarthCentric Engineering, Inc. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF EarthCentric Engineering, Inc. IS PROHIBITED.

COPYRIGHT 2024 EarthCentric Engineering, Inc.

SHEET NO.

C5.0

SITE PLAN



CONTACT INFORMATION:

SITE ADDRESS: 1317 ROCK QUARRY ROAD (AND OTHERS)
MEBANE, NC 27302
OWNER & DEVELOPER: NACC INVESTMENT GROUP, LLC (ALL LOTS)
717 FLIP TRAIL
CARY, NC 27513
BAL KRISHNA SHARMA (984-302-4256)
BAL_KRISHNA_SHARMA@HOTMAIL.COM
CIVIL ENGINEER: EARTHCENTRIC ENGINEERING INC. (C-2638)
CHARLES P. KOCH (NPE #22634)
204 WEST CLAY STREET, MEBANE, NC 27302
PHONE: 919-563-9041 FAX: 919-563-3234
PHIL.KOCH@EARTHCENTRIC.COM
SURVEYOR: R.S. JONES & ASSOCIATES, INC. (C-2565)
ROBERT S. JONES (L-3930)
P.O. BOX 1700, MEBANE, NC 27302
204 N. FIFTH ST. SUITE 1, MEBANE, NC 27302
PHONE: 919-563-3623 FAX: 919-563-0086

SITE INFORMATION & NOTES:

PIN# 9824-74-3930, 9824-85-2205, 9824-75-9260
9824-75-7271, 9824-75-4188, 9824-65-9177,
9824-65-9813
DEED REF BK.6783 PG.478, BK.6782 PG.55, BK.6815 PG.324
PLAT REF PB 48 PG 173, PB 76 PG 164, PB 125 PG 82, &
PB 42 PG 17
EXISTING JURISDICTION ORANGE COUNTY, CHEEKS TOWNSHIP
PROPOSED JURISDICTION CITY OF MEBANE ANNEXATION
ZONING CODE O/RM & AR ORANGE COUNTY
ADJACENT ZONES R-12 (CD) CITY OF MEBANE TO THE SOUTH
AR ORANGE COUNTY ALL OTHER SIDES
PROPOSED ZONE R-12 (CD) CITY OF MEBANE
SIZE 52.32 ACRES (2,279,060 SF) BY SURVEY
(TOTAL ALL LOTS)
8,022 SF IN R/W TO BE DEDICATED TO NCDOT
52.14 ACRES (2,271,038 SF) AFTER R/O DED.
RIVER BASIN CAPE FEAR RIVER BASIN
RECEIVING WATER COURSE HAW CREEK (WS-B, NSW)
WATERSHED HAW CREEK UNPROTECTED WATERSHED
SOILS (2017) CH - CHEWACLA, GROUP B/D
ENB - ENON, GROUP C
GEC - GEORGEVILLE, GROUP B
HRB - HERNON, GROUP B
HWE & HWC - LLOYD, GROUP B
MAP PANEL #3710982400L EFFECTIVE 11/17/2017
ZONE X, MINIMAL FLOOD RISK
FEMA SINGLE-FAMILY HOMES & TRAILERS
CLUSTER SUBDIVISION, WORKFORCE HOUSING
CURRENT USE 3.63 UNITS/ACRE 189 UNITS MAX.)
PROPOSED USE 106 UNITS OR 2.03 UNITS/ACRE
R-12 DENSITY MAX. 12,000 SF MIN (7,200 SF AS CLUSTER)
R-12 LOT SIZE MIN. 65' MIN.
FRONT YARD SETBACK 25' MINIMUM
SIDE YARD SETBACK 7.5' PROPOSED (UDO STD. =10')
SIDE CORNER SETBACK 15' PROPOSED (UDO STD. =18')
REAR YARD SETBACK 25' MINIMUM
OPEN SPACE 6 (WORKSHOP CENTER) 50' SETBACK ALL SIDES
TOTAL LINEAR FEET OF NEW ROADS 5,994
TRIP GENERATION ESTIMATE: 106 SFH UNITS = ~1,131 NEW DAILY TRIPS

PARKING REQUIREMENTS, RESIDENTIAL: (ASSUMES 4 BEDROOMS)
106 EACH 3-4 BEDROOM HOMES @ 3 SPACES PER HOME
TOTAL REQUIRED SPACES = 265 SPACES
EACH LOT WILL HAVE 3 PARKING SPACES MIN. IN DRIVEWAY &/OR GARAGES
PARKING REQUIREMENTS, AMENITIES:
WORSHIP CENTER: ESTIMATED 200 SEATS @ 1 SPACE PER 4 SEATS
TOTAL REQUIRED SPACES = 50 SPACES
POOL AREA: 5400 FT² POOL & DECK AREA @ 1 SPACE PER 100 FT²
TOTAL REQUIRED PARKING = 54 SPACES
COMMUNITY CENTER: 6000 FT² @ 1 PER 500 FT² PLUS WORSHIP CENTER
TOTAL REQUIRED SPACES = 62 SPACES
10 KITCHEN SPACES PLUS 1 PER 20 DWELLINGS MORE THAN 0.5 MI AWAY
TOTAL REQUIRED PARKING = 10 SPACES
SPACES PROVIDED = 71 SPACES (ASSUMES WALKING COMMUNITY &
LARGELY NON-SIMULTANEOUS USE OF FACILITIES)

LANDSCAPE & BUFFERING:
PERIMETER BUFFERS - NOT REQUIRED FOR PROPOSED USE CLASS 3
STREETSCAPE - 20' STREETSCAPE (PRESERVED &/OR PLANTED)
TYPES
AREA OF DISTURBANCE: TBD WITH NCDWM EROSION CONTROL SUBMITTAL
ALL PRESERVED TREES AND STREAM BUFFERS ARE TO BE PROTECTED VIA TREE PROTECTION
FENCINGS. NO LAND DISTURBANCE ALLOWED IN PROTECTED AREAS. ORANGE COUNTY
EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.
ALL PRIVATE COMMON OPEN SPACE INCLUDING STORM WATER CONTROL MEASURES, PONDS,
DRAINAGE SWALES WITH PRIVATE EASEMENTS, STREETSCAPE, WALKING TRAILS, AND
OTHER COMMON ELEMENTS ARE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION
TO OWN AND MAINTAIN.

I CERTIFY THAT, PURSUANT TO GENERALLY ACCEPTED ENGINEERING STANDARDS IN THE
COMMUNITY, IT IS MY PROFESSIONAL OPINION THAT RUNOFF FROM THIS PROJECT IS
CONTROLLED AND TREATED FOR WATER QUALITY AND WATER QUANTITY IN ACCORDANCE
WITH THE CITY OF MEBANE'S STORMWATER MANUAL AND THAT THIS PROJECT COMPLIES
WITH THE CITY OF MEBANE'S STORMWATER ORDINANCES.
FOR CITY OF MEBANE PUBLIC WATER, SEWER AND INTERNAL STREETS, DESIGN AND INSTALLATION
SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS, DETAILS AND SPECIFICATIONS.

EarthCentric Engineering, Inc.
License # C-2638



204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-3234
E-Mail: Phil.Koch@EarthCentric.com

PRELIMINARY
NOT FOR
CONSTRUCTION

PRINCIPAL ENGINEER
PHIL KOCH - NCPE #22634

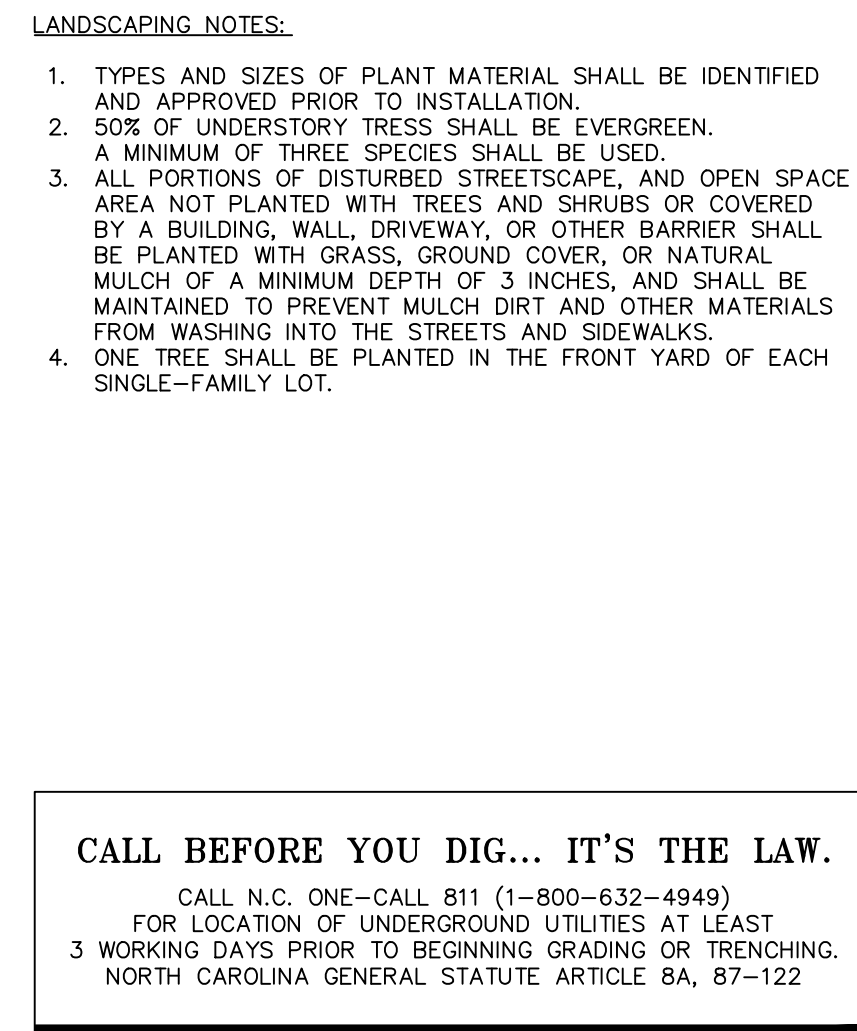
NEPALESE AMERICAN CULTURAL
CENTER SUBDIVISION
1317 ROCK QUARRY RD, MEBANE NC 27302
UTILITY PLAN

REV.	DATE	DESCRIPTION	BY	CHK
1	09/26/2023	PER COMMENTS / ADD. PROP.	CPK	
2	04/25/2024	PER COMMENTS	TMM	
3	07/10/2024	PER COMMENTS	SCS	
4	07/23/2024	PER COMMENTS	TMM	

DRAWING NAME: 22-69 WORKING

THE DRAWING AND THE DESIGN HEREON ARE
THE PROPERTY OF EarthCentric Engineering, Inc.
THE INFORMATION ON THIS DRAWING IS NOT FOR
USE ON ANY OTHER SITE OR PROJECT. THE
REPRODUCTION OR OTHER USE OF THIS
DRAWING IN WHOLE OR IN PART, WITHOUT
WRITTEN CONSENT OF EarthCentric Engineering, Inc.
IS PROHIBITED.

COPYRIGHT 2024 EarthCentric Engineering, Inc.
SHEET NO.
C6.0
SITE PLAN



SITE ADDRESS	1317 ROCK QUARRY ROAD (AND OTHERS) MEBANE, NC 27302
OWNER & DEVELOPER	NACC INVESTMENT GROUP, LLC (ALL LOT#S) 717 E. TRAIL CARY, NC 27513 BAL KRISHNA SHARMA (984-302-4256) BAL KRISHNA_SHARMA@HOTMAIL.COM EARTHCENTRIC ENGINEERING INC. (C-2638) CHARLES P. KOCH (NOE #22634) 204 WEST CLAY STREET CARY, NC 27302 PH 919-563-9041 FAX: 919-563-3234 RICHARD@EARTHCENTRIC.COM S.S. JONES & ASSOCIATES (C-2565) PHIL KOCH, JR. (L-3939) P.O. BOX 1700, MEBANE, NC 27302 204 N. FIFTH ST, SUITE L MEBANE NC 27302 PH 919-563-3623 FAX 919-563-0086
CIVIL ENGINEER	
SURVEYOR	

PIN#	9824-74-3930, 9824-85-2205, 9824-75-9260 9824-75-7271, 9824-75-4188, 9824-65-9177, 9824-65-9813
DEED REF	BK.6793 PG.478, BK.6782 PG.55, BK.6815 PG.324
PLAT REF	PB 48 PG 173, PB 76 PG 164, PB 125 PG 82, & PB 42 PG 17

EXISTING JURISDICTION	ORANGE COUNTY, CHEEKS TOWNSHIP
PROPOSED JURISDICTION	CITY OF MEBANE ANNEXATION
ZONING CODE	O/RM & AR ORANGE COUNTY
ADJACENT ZONES	R-12 (CD) CITY OF MEBANE TO THE SOUTH AR ORANGE COUNTY ALL OTHER SIDES
PROPOSED ZONE	R-12 (CD) CITY OF MEBANE
SIZE	52.32 ACRES (2,279,060 SF) BY SURVEY (TOTAL ALL LOTS) 8,022 SF IN R/W TO BE DEDICATED TO NCDOT 52.14 ACRES (2,271,038 SF) AFTER R/D DED.

RIVER BASIN	CAPE FEAR RIVER BASIN
RECEIVING WATER COURSE	HAW CREEK (WS-V; NSW)
WATERSHED	HAW CREEK UNPROTECTED WATERSHED
SOILS (2017)	CH - CHEWACLA, GROUP B/D
	ENB - ENON, GROUP C
	GEC - GEORGEVILLE, GROUP B
	HRB - HERNDON, GROUP B
	HWB & HWC - LLOYD, GROUP B
FEMA	MAP PANEL #3710982400L EFFECTIVE 11/17/2017
	ZONE X, MINIMAL FLOOD RISK

CURRENT USE	SINGLE-FAMILY HOMES & TRAILERS
PROPOSED USE	CLUSTER SUBDIVISION, WORKFORCE HOUSING

R-12 DENSITY MAX.	3.63 UNITS/ACRE 189 UNITS MAX.)
R-12 DENSITY PROPOSED	106 UNITS OR 2.03 UNITS/ACRE
R-12 LOT SIZE MIN.	12,000 SF MIN (7,200 SF AS CLUSTER)
LOT WIDTH:	65' MIN.
FRONT YARD SETBACK	25' MINIMUM
SIDE YARD SETBACK	7.5' PROPOSED (UDO STD. =10')
SIDE CORNER SETBACK	15' PROPOSED (UDO STD. =18')
REAR YARD SETBACK	25' MINIMUM
OPEN SPACE 6 (WORSHIP CENTER)	50' SETBACK ALL SIDES
TOTAL LINEAR FEET OF NEW ROADS	5,994

TRIP GENERATION ESTIMATE: 106 SFH UNITS = ~1,131 NEW DAILY TRIPS

PARKING REQUIREMENTS, RESIDENTIAL: (ASSUMES 4 BEDROOMS)
106 EACH 3-4 BEDROOM HOMES @ 3 SPACES PER HOME
TOTAL REQUIRED SPACES = 265 SPACES
EACH LOT WILL HAVE 3 PARKING SPACES MIN. IN DRIVEWAY &/OR GARAGE

PARKING REQUIREMENTS, AMENITIES:
 WORSHIP CENTER: ESTIMATED 200 SEATS @ 1 SPACE PER 4 SEATS
 TOTAL REQUIRED SPACES = 50 SPACES
 POOL AREA: 5400 FT² POOL & DECK AREA @ 1 SPACE PER 100 FT²
 TOTAL REQUIRED PARKING SPACES
 COMMUNITY CENTER: 6000 FT² @ 1 SPACE PER 500 FT² PLUS WORSHIP CENTER
 TOTAL REQUIRED SPACES = 62 SPACES
 10 KIOSK SPACES PLUS 1 PER 20 DWELLINGS MORE THAN 0.5 MI AWAY
 TOTAL REQUIRED PARKING = 10 SPACES

SPACES PROVIDED = 71 SPACES (ASSUMES WALKING COMMUNITY & LARGELY NON-SIMULTANEOUS USE OF FACILITIES)

LANDSCAPE & BUFFERING:
PERIMETER BUFFERS - NOT REQUIRED FOR PROPOSED USE CLASS 3
STREETSCAPE - 20' STREETSCAPE (PRESERVED &/OR PLANTED)
TYPES

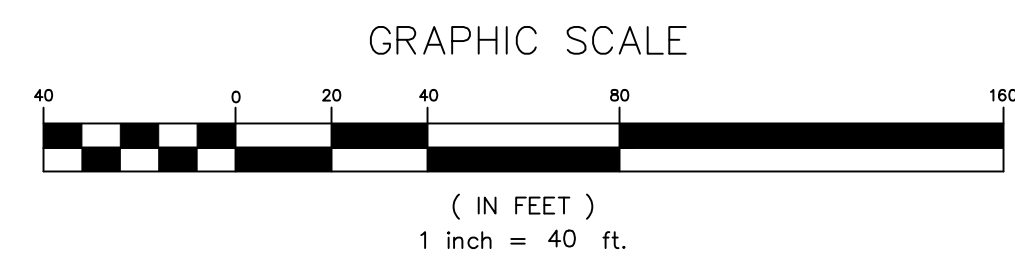
AREA OF DISTURBANCE: TBD WITH NCDWQ EROSION CONTROL SUBMITTAL

FENCING. NO LAND DISTURBANCE ALLOWED IN PROTECTED AREAS. ORANGE
EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DIS

ALL PRIVATE COMMON OPEN SPACE INCLUDING STORM WATER CONTROL MEASURES, DRAINAGE SWALES WITH PRIVATE EASEMENTS, STREETScape, WALKING TRAILS AND OTHER COMMON ELEMENTS ARE THE RESPONSIBILITY OF THE HOME OWNERS TO OWN AND MAINTAIN.

I CERTIFY THAT, PURSUANT TO GENERALLY ACCEPTED ENGINEERING STANDARDS COMMUNITY, IT IS MY PROFESSIONAL OPINION THAT RUNOFF FROM THIS PROJECT IS CONTROLLED AND TREATED FOR WATER QUALITY AND WATER QUANTITY IN ACCORDANCE WITH THE CITY OF MEBANE'S STORMWATER MANUAL AND THAT THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF MEBANE'S STORMWATER ORDINANCES.

FOR CITY OF MEBANE PUBLIC WATER, SEWER AND INTERNAL STREETS, DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS, DETAILS AND SPECIFICATIONS.



PRELIMINARY
NOT FOR
CONSTRUCTION

PALESE AMERICAN CULTURAL
CENTER SUBDIVISION
1317 ROCK QUARRY RD, MEBANE NC 27302

CENTEX CORPORATION
1317 ROCK QUARRY RD, MEBAHE NC 27302

LANDSCAPE & AMENITY PLAN

LANDSCAPE & AMENITY PLAN

PRINCIPAL ENGINEER
PHIL KOCH - NCPE #22634

ECE
Incorporated

204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-3234
E-Mail: Phil.Koch@EarthCentric.com

REV.	DATE	DESCRIPTION	BY
1	09/26/2023	PER COMMENTS / ADD. PROP.	CPK
2	04/25/2024	PER COMMENTS	TMM
3	07/10/2024	PER COMMENTS	SCS
4	07/23/2024	PER COMMENTS	TMM

DATE:	JANUARY 17, 2023
HORIZONTAL SCALE:	1" = 40'
VERTICAL SCALE:	N/A
PROJECT MANAGER:	CPK
DRAWN BY:	CPA
PROJECT NO.:	22-69
DRAWING NAME:	22-69 WORKING

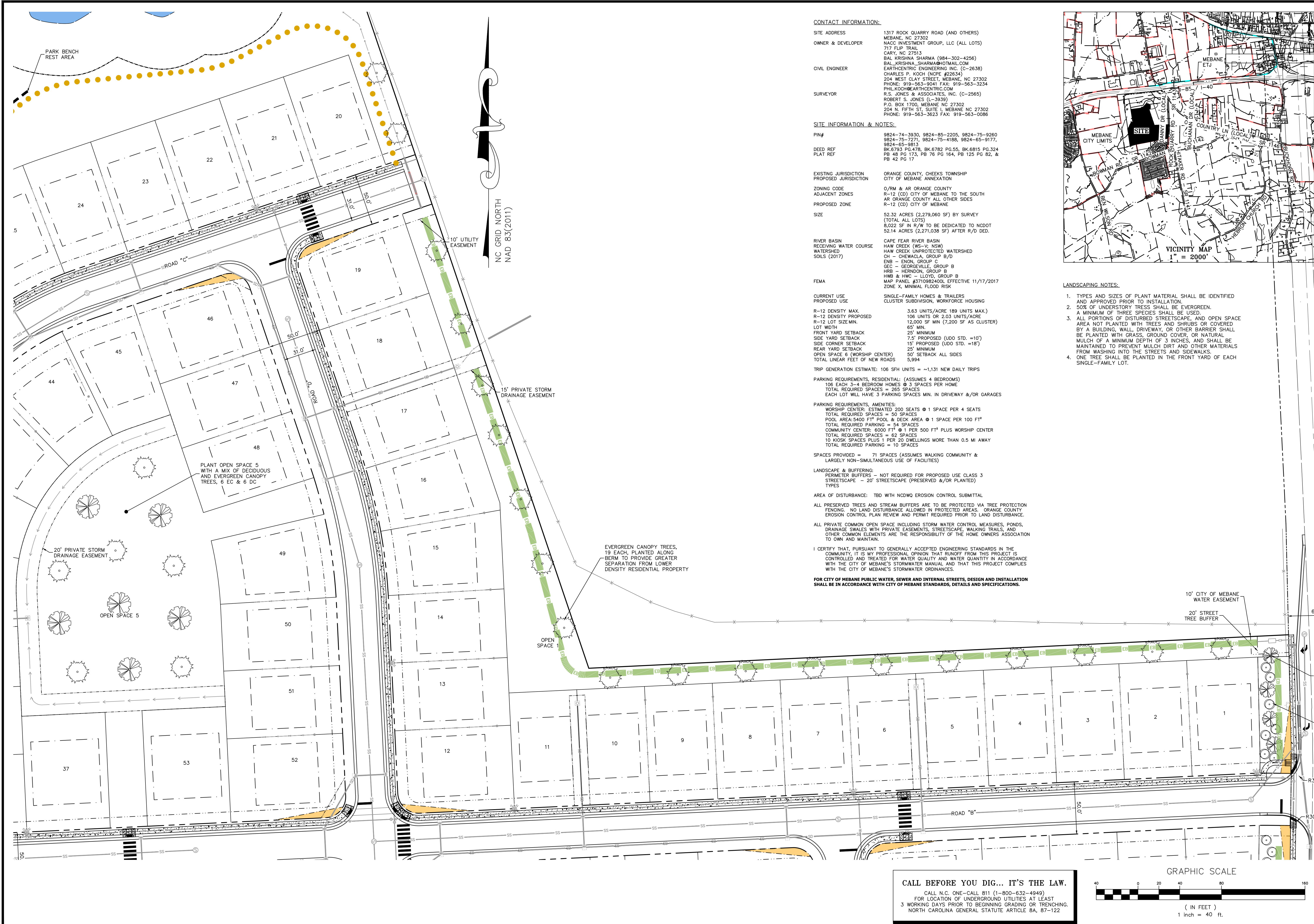
THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF EarthCentric Engineering, Inc. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF EarthCentric Engineering, Inc., IS PROHIBITED.

COPYRIGHT 2024 EarthCentric Engineering, Inc.

SHEET NO.

C7.0

SITE PLAN



CONTACT INFORMATION:

SITE ADDRESS
1317 ROCK QUARRY ROAD (AND OTHERS)
MEBANE, NC 27302
OWNER & DEVELOPER
NACC INVESTMENT GROUP, LLC (ALL LOTS)
717 FLIP TRAIL
CARY, NC 27513
BAL KRISHNA SHARMA (984-302-4256)
BAL.KRISHNA.SHARMA@707MAIL.COM
CIVIL ENGINEER
EARTHCENTRIC ENGINEERING INC. (C-2638)
CHARLES P. KOCH (NCE #22634)
204 WEST CLAY STREET, MEBANE, NC 27302
PHONE: 919-563-9041 FAX: 919-563-3234
PHIL.KOCH@EARTHCENTRIC.COM
SURVEYOR
R.S. JONES & ASSOCIATES, INC. (C-2565)
ROBERT S. JONES (L-3939)
P.O. BOX 1700, MEBANE NC 27302
204 N. FIFTH ST., SUITE 1, MEBANE NC 27302
PHONE: 919-563-3623 FAX: 919-563-0086

SITE INFORMATION & NOTES:

PIN# 9824-74-3930, 9824-85-2205, 9824-75-9260, 9824-75-7271, 9824-75-4188, 9824-65-9177, 9824-65-9813
DEED REF BK.6793 PG.478, BK.6782 PG.55, BK.6815 PG.324, PB.48 PG.173, PB.76 PG.164, PB.125 PG.82, & PB.42 PG.17
PLAT REF

EXISTING JURISDICTION ORANGE COUNTY, CHEEKS TOWNSHIP
CITY OF MEBANE ANNEXATION
ZONING CODE O/RM & AR ORANGE COUNTY
ADJACENT ZONES R-12 (CD) CITY OF MEBANE TO THE SOUTH
AR ORANGE COUNTY ALL OTHER SIDES
PROPOSED ZONE R-12 (CD) CITY OF MEBANE

SIZE 52.32 ACRES (2,279,060 SF) BY SURVEY
(TOTAL ALL LOTS)
8,022 SF IN R/W TO BE DEDICATED TO NCDOT
52.14 ACRES (2,271,038 SF) AFTER R/D DED.

RIVER BASIN CAPE FEAR RIVER BASIN
RECEIVING WATER COURSE HAW CREEK (WS-V, NSW)
WATERSHED HAW CREEK UNPROTECTED WATERSHED
SOILS (2017) CH - CHEWACLA, GROUP B/D
ENB - ENON, GROUP C
GEC - GEORGETOWN, GROUP B
HRB - HERNDON, GROUP B
HMB & HWC - LLOYD, GROUP B
MAP PANEL #710982400, EFFECTIVE 11/17/2017
FEMA ZONE X, MINIMAL FLOOD RISK

CURRENT USE SINGLE-FAMILY HOMES & TRAILERS
PROPOSED USE CLUSTER SUBDIVISION, WORKFORCE HOUSING

R-12 DENSITY MAX. 3.63 UNITS/ACRE 189 UNITS MAX.)
R-12 DENSITY PROPOSED 106 UNITS OR 2.03 UNITS/ACRE
R-12 LOT SIZE MIN. 12,000 SF MIN (7,200 SF AS CLUSTER)
LOT WIDTH 65' MIN.
FRONT YARD SETBACK 25' MINIMUM
SIDE YARD SETBACK 7.5' PROPOSED (UDO STD. =10')
SIDE CORNER SETBACK 15' PROPOSED (UDO STD. =18')
REAR YARD SETBACK 25' MINIMUM
OPEN SPACE 6 (WORSHIP CENTER) 50' SETBACK ALL SIDES
TOTAL LINEAR FEET OF NEW ROADS 5,994

TRIP GENERATION ESTIMATE: 106 SFH UNITS = ~1,131 NEW DAILY TRIPS

PARKING REQUIREMENTS, RESIDENTIAL: (ASSUMES 4 BEDROOMS)
106 EACH 3-4 BEDROOM HOMES @ 3 SPACES PER HOME
TOTAL REQUIRED SPACES = 265 SPACES
EACH LOT WILL HAVE 3 PARKING SPACES MIN. IN DRIVEWAY &/OR GARAGES

PARKING REQUIREMENTS, AMENITIES:
WORSHIP CENTER: ESTIMATED 200 SEATS @ 1 SPACE PER 4 SEATS
TOTAL REQUIRED SPACES = 50 SPACES
POOL AREA: 5400 FT² POOL & DECK AREA @ 1 SPACE PER 100 FT²
TOTAL REQUIRED PARKING = 54 SPACES
COMMUNITY CENTER: 6000 FT² @ 1 PER 500 FT² PLUS WORSHIP CENTER
TOTAL REQUIRED SPACES = 62 SPACES
10 KIOSK SPACES PLUS 1 PER 20 DWELLINGS MORE THAN 0.5 MI. AWAY
TOTAL REQUIRED PARKING = 10 SPACES

SPACES PROVIDED = 71 SPACES (ASSUMES WALKING COMMUNITY & LARGELY NON-SIMULTANEOUS USE OF FACILITIES)

LANDSCAPE & BUFFERING:
PERIMETER BUFFERS - NOT REQUIRED FOR PROPOSED USE CLASS 3
STREETSCAPE - 20' STREETSCAPE (PRESERVED &/OR PLANTED)
TYPES

AREA OF DISTURBANCE: TBD WITH NCDOW EROSION CONTROL SUBMITTAL

ALL PRESERVED TREES AND STREAM BUFFERS ARE TO BE PROTECTED VIA TREE PROTECTION FENCING. NO LAND DISTURBANCE ALLOWED IN PROTECTED AREAS. ORANGE COUNTY EROSION CONTROL PLAN REVIEW AND PERMIT REQUIRED PRIOR TO LAND DISTURBANCE.

ALL PRIVATE COMMON OPEN SPACE INCLUDING STORM WATER CONTROL MEASURES, PONDS, DRAINAGE SWALES WITH PRIVATE EASEMENTS, STREETSCAPE, WALKING TRAILS, AND OTHER COMMON ELEMENTS ARE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION TO OWN AND MAINTAIN.

I CERTIFY THAT, PURSUANT TO GENERALLY ACCEPTED ENGINEERING STANDARDS IN THE COMMUNITY, IT IS MY PROFESSIONAL OPINION THAT RUNOFF FROM THIS PROJECT IS CONTROLLED AND TREATED FOR WATER QUALITY AND WATER QUANTITY IN ACCORDANCE WITH THE CITY OF MEBANE'S STORMWATER MANUAL AND THAT THIS PROJECT COMPLIES WITH THE CITY OF MEBANE'S STORMWATER ORDINANCES.

FOR CITY OF MEBANE PUBLIC WATER, SEWER AND INTERNAL STREETS, DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS, DETAILS AND SPECIFICATIONS.

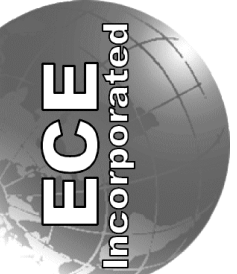


LANDSCAPING NOTES:

1. TYPES AND SIZES OF PLANT MATERIAL SHALL BE IDENTIFIED AND APPROVED PRIOR TO INSTALLATION.
2. 50% OF UNDERSTORY TREES SHALL BE EVERGREEN. A MINIMUM OF THREE SPECIES SHALL BE USED.
3. ALL PORTIONS OF DISTURBED STREETSCAPE, AND OPEN SPACE AREA NOT PLANTED WITH TREES AND SHRUBS OR COVERED BY A BUILDING, WALL, DRIVEWAY, OR OTHER BARRIER SHALL BE PLANTED WITH GRASS, GROUND COVER, OR NATURAL MULCH OF A MINIMUM DEPTH OF 3 INCHES, AND SHALL BE MAINTAINED TO PREVENT MULCH DIRT AND OTHER MATERIALS FROM WASHING INTO THE STREETS AND SIDEWALKS.
4. ONE TREE SHALL BE PLANTED IN THE FRONT YARD OF EACH SINGLE-FAMILY LOT.

EarthCentric Engineering, Inc.

License # C-2638



204 W. Clay Street
Mebane, NC 27302
Phone: (919) 563-9041
Fax: (919) 304-3234
E-Mail: Phil.Koch@EarthCentric.com

PRELIMINARY
NOT FOR
CONSTRUCTION

NEPALESE AMERICAN CULTURAL
CENTER SUBDIVISION
1317 ROCK QUARRY RD, MEBANE NC 27302

LANDSCAPE PLAN

REV.	DATE	DESCRIPTION	BY
1	09/25/2023	PER COMMENTS / ADD. PROP. CPK	CPK
2	04/25/2024	PER COMMENTS TMM	TMM
3	07/10/2024	PER COMMENTS SCS	SCS
4	07/23/2024	PER COMMENTS TMM	TMM

DATE: JANUARY 17, 2023
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: N/A
PROJECT MANAGER: CPK
DRAWN BY: CPK
PROJECT NO.: 22-69
DRAWING NAME: 22-69 WORKING

THIS DRAWING AND THE DESIGN HEREON ARE THE PROPERTY OF EarthCentric Engineering, Inc. THE INFORMATION ON THIS DRAWING IS NOT FOR USE ON ANY OTHER SITE OR PROJECT. THE REPRODUCTION OR OTHER USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF EarthCentric Engineering, Inc. IS PROHIBITED.

COPYRIGHT 2024 EarthCentric Engineering, Inc.

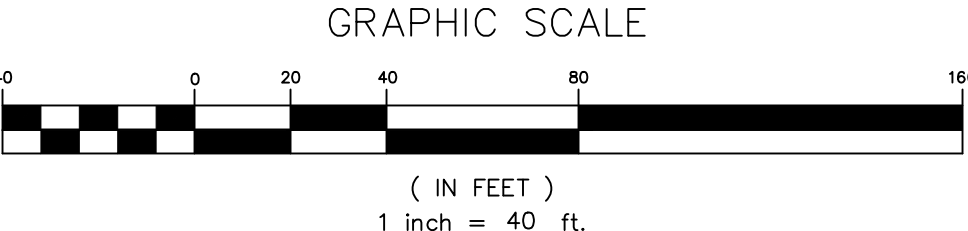
SHEET NO.

C7.1

SITE PLAN

CALL BEFORE YOU DIG... IT'S THE LAW.

CALL N.C. ONE-CALL 811 (1-800-632-4949)
FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST
3 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.
NORTH CAROLINA GENERAL STATUTE ARTICLE 8A, 87-122



Licence #C-2638
 204 W. Clay Street
 Mebane, NC 27302
 Phone: (919) 563-9041
 Fax: (919) 304-3234
 E-Mail: Phil.Koch@Ear

PRINCIPAL ENGINEER
PHIL KOCH - NCPE #22634

DATE:		JANUARY 17, 2023	
HORIZONTAL SCALE:		N/A	
PROJECT SCALE:		N/A	
PROJECT MANAGER:		CPK	
DRAWN BY:		CPK	
PROJECT NO:		22-69	
DRAWING NAME:		22-69 DETAILS	

SHEET NO.

D5.0

DETAILS



NOTES:

1. 3,000 PSI CONCRETE CURB.
2. EXPANSION JOINT EVERY 90' AND CONTRACTION JOINT EVERY 10'.
3. PROVIDE SEALANT OVER EXPANSION JOINTS AS PER NCDOT STANDARD SPECIFICATIONS.

**CITY OF MEBANE
STANDARD**

30° ROLLED CURB

SCALE: N.T.S. DATE: 7/1/21 DRAWN BY: WDF